



NORTH WEST RENDERING 4



SOUTH EAST RENDERING 2



NORTH EAST RENDERING 3



SOUTH WEST RENDERING 1

PROJECT:
 GROUND UP OFFICE BUILDING

parentis health.
 PARENTIS HEALTH
 24221 PASEO DE VALENCIA
 LAGUNA WOODS, CA 92637 •

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PROJECT NO	22006
DATE	05/10/23
DRAWN BY	RT / PH / RRR
SCALE	AS NOTED

DESCRIPTION	DATE
PLANNING SUBMITTAL	08/04/22
PLANNING SUBMITTAL	10/11/22
PLANNING SUBMITTAL	12/06/22
PLANNING SUBMITTAL	01/24/23
PLANNING SUBMITTAL	03/08/23
PLANNING SUBMITTAL	03/22/23
PLANNING SUBMITTAL	05/10/23

SHEET TITLE
RENDERINGS

SHEET NUMBER

A0.1

BUILDING AREA

SITE AREA = 15,250 SF.
 BUILDING AREA = 3,071 SF.
 ALLOWABLE LOT COVERAGE = 35% (15,250 SF. x .35 = 5,340 SF.)

PARKING ANALYSIS

STANDARD SPACES = 9
 ACCESSIBLE SPACES = 1
 TOTAL EXISTING PARKING = 10



EXISTING SITE PLAN

SCALE: 1" = 20'-0"

designwork studios
 ARCHITECTURE • INTERIOR DESIGN

8941 Research Drive, Suite 100
 Irvine, CA 92618
 Tel. 714.480.0533

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SHEET TITLE
 EXISTING SITE PLAN

SHEET NUMBER
A1.0

BUILDING AREA

PARKING REQUIREMENT BY LAGUNA WOODS MUNICIPAL CODE
CHAPTER 13.10 COMMERCIAL DISTRICT

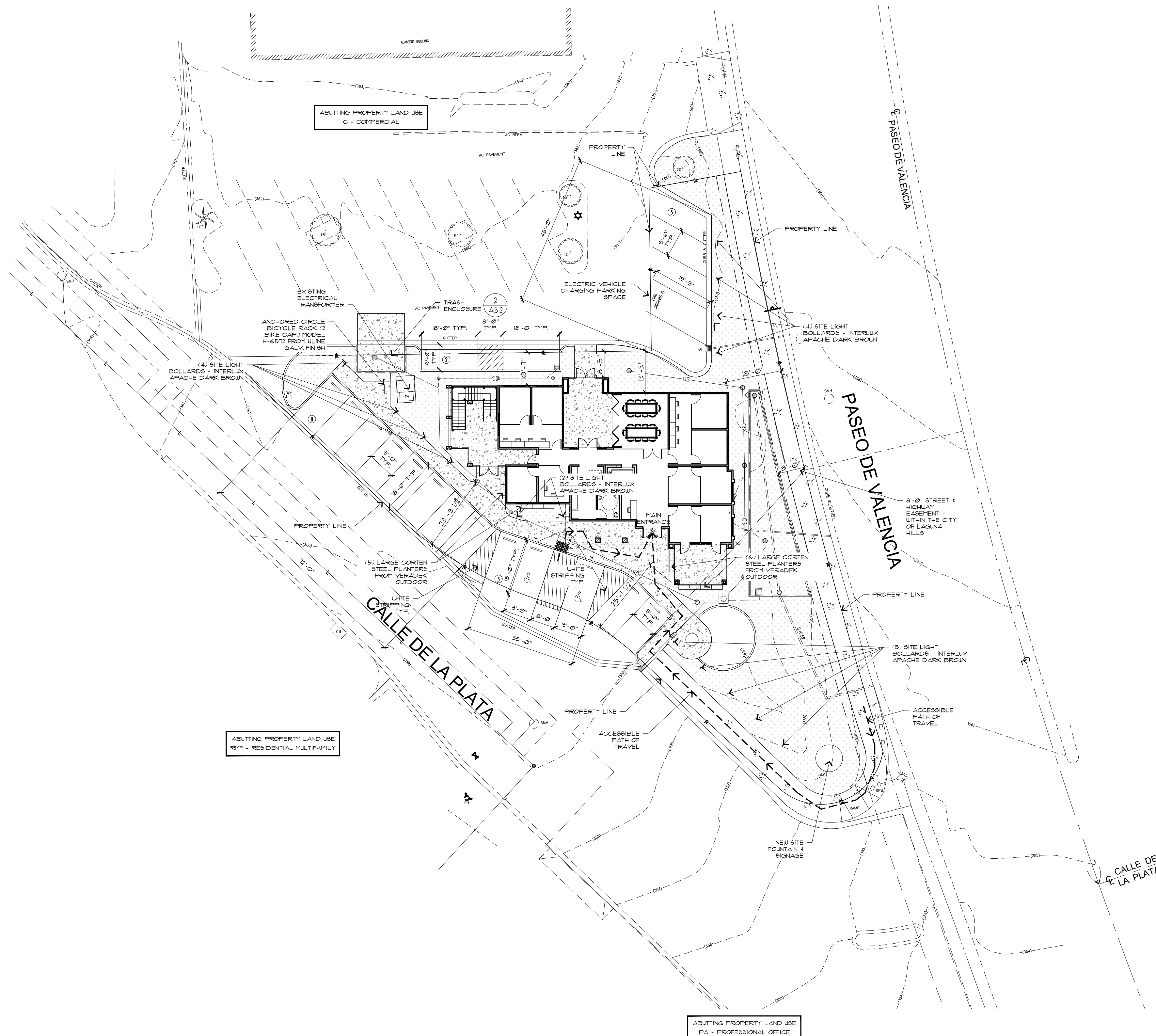
LAND USE = C - COMMERCIAL
 ZONING = PA - PROFESSIONAL & ADMINISTRATIVE OFFICE
 ALL SETBACKS = 10'-0"
 ALLOWABLE BLDG. HEIGHT = 35'-0"
 PROPOSED BLDG. HEIGHT = 35'-0"
 LAND AREA = 16,828 SF. OR 0.386 ACRES PER A.L.T.A.
 SITE AREA = 15,258 SF. (CLEAR AFTER EASEMENT)
 MAX F.A.R. = (LOT SIZE x .30) 15,258 x .30 = 4,577 SF.
 BUILDING AREA = 4,555 SF. (1ST FLR: 2,856 SF. / 2ND FLR: 1,699 SF.)
 ALLOWABLE LOT COVERAGE = 35% (15,258 SF. x .35 = 5,340 SF.)

PARKING ANALYSIS

PARKING REQUIREMENT BY LAGUNA WOODS MUNICIPAL CODE
CHAPTER 13.10.010 OFF-STREET PARKING REQUIREMENTS

1 PARKING SPACE FOR EACH 250 SF. OF GROSS FLOOR AREA
 4,555 SF. / 250 SF. = 18 PARKING SPACES REQ'D
OVERALL PARKING SPACES
 STANDARD SPACES = 18
 ACCESSIBLE SPACES = 2
 TOTAL PARKING PROVIDED = 20

- MIN. REQUIRED ACCESSIBLE PARKING SPACES PER TABLE CHAPTER 13.10.030 = 1 ACCESSIBLE PARKING SPACE REQUIRED
- 2 ACCESSIBLE PARKING SPACES PROVIDED
- 1 ELECTRIC VEHICLE CHARGING PARKING SPACE PROVIDED
- 1 ANCHORED TWO-BICYCLE CAPACITY RACK PROVIDED



SCALE: 1" = 20'-0"

PROPOSED SITE PLAN



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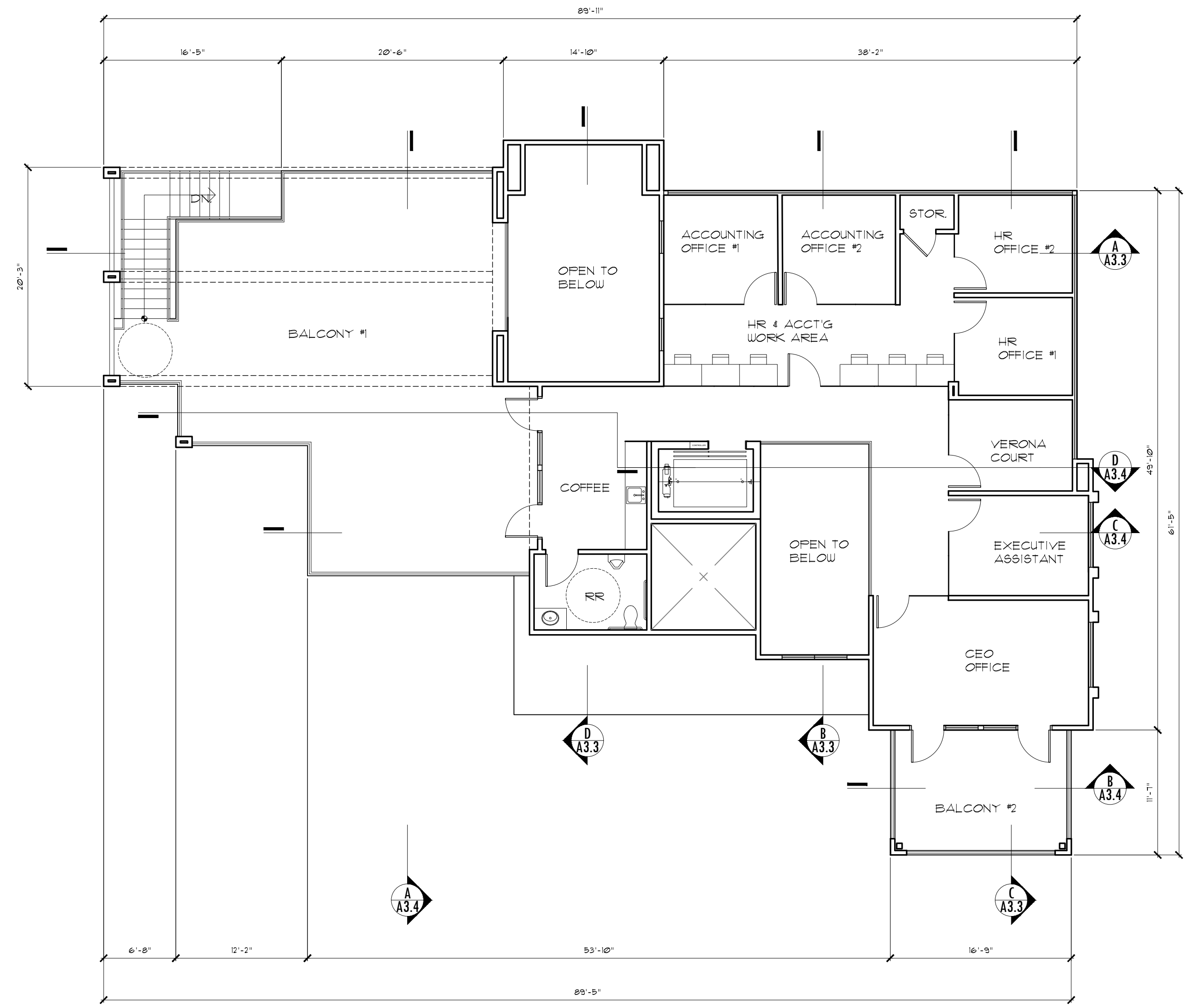
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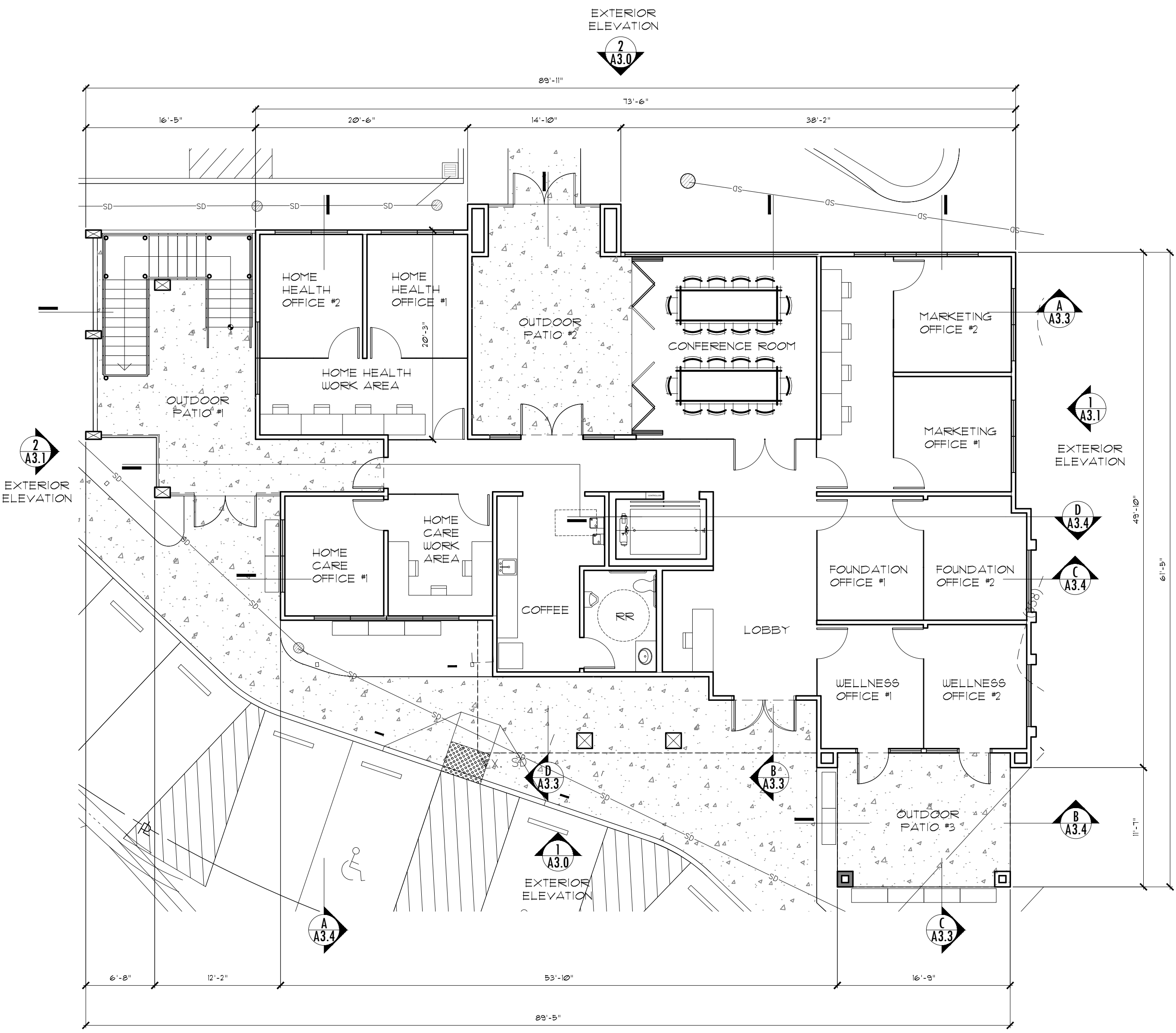
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SHEET TITLE
PROPOSED SITE PLAN

SHEET NUMBER
A1.1



PROPOSED FLOOR PLAN (SECOND LEVEL)
 SCALE: 1/8" = 1'-0"
 (1,699 SF)



PROPOSED FLOOR PLAN (FIRST LEVEL)
 SCALE: 1/8" = 1'-0"
 (2,856 SF)

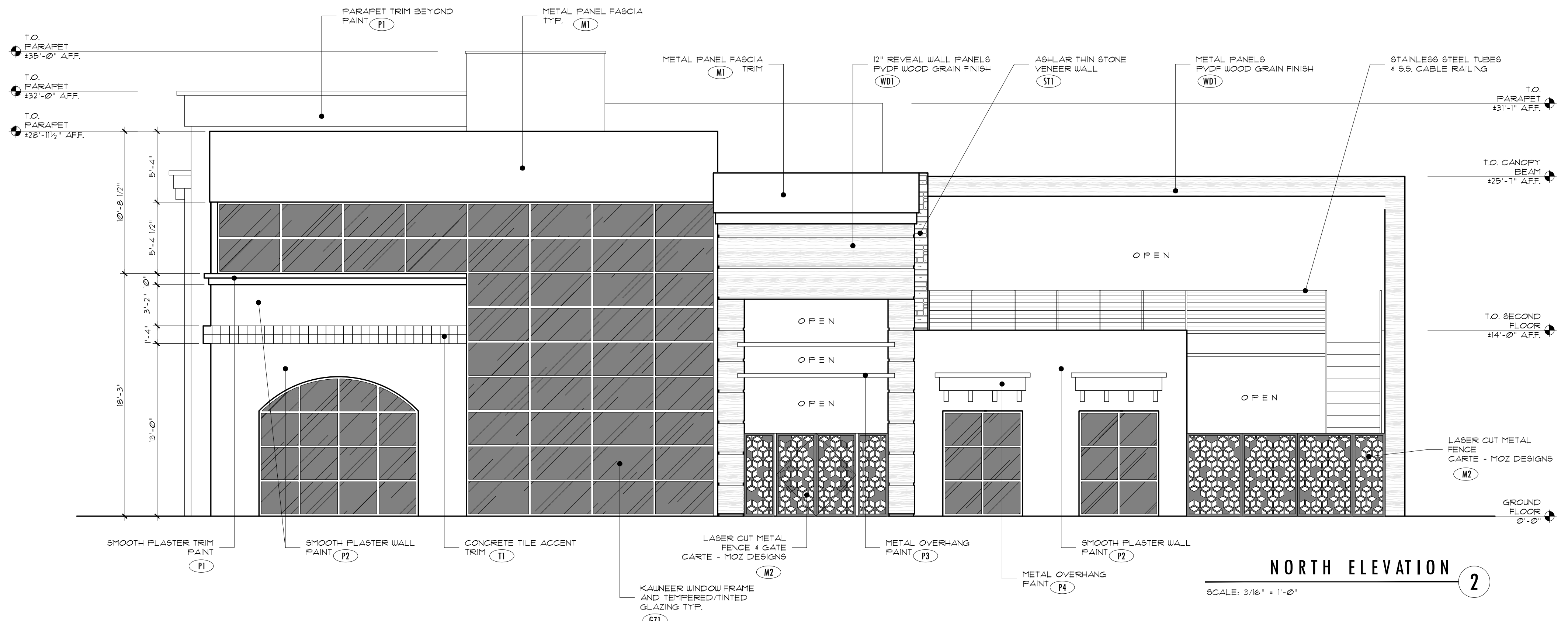
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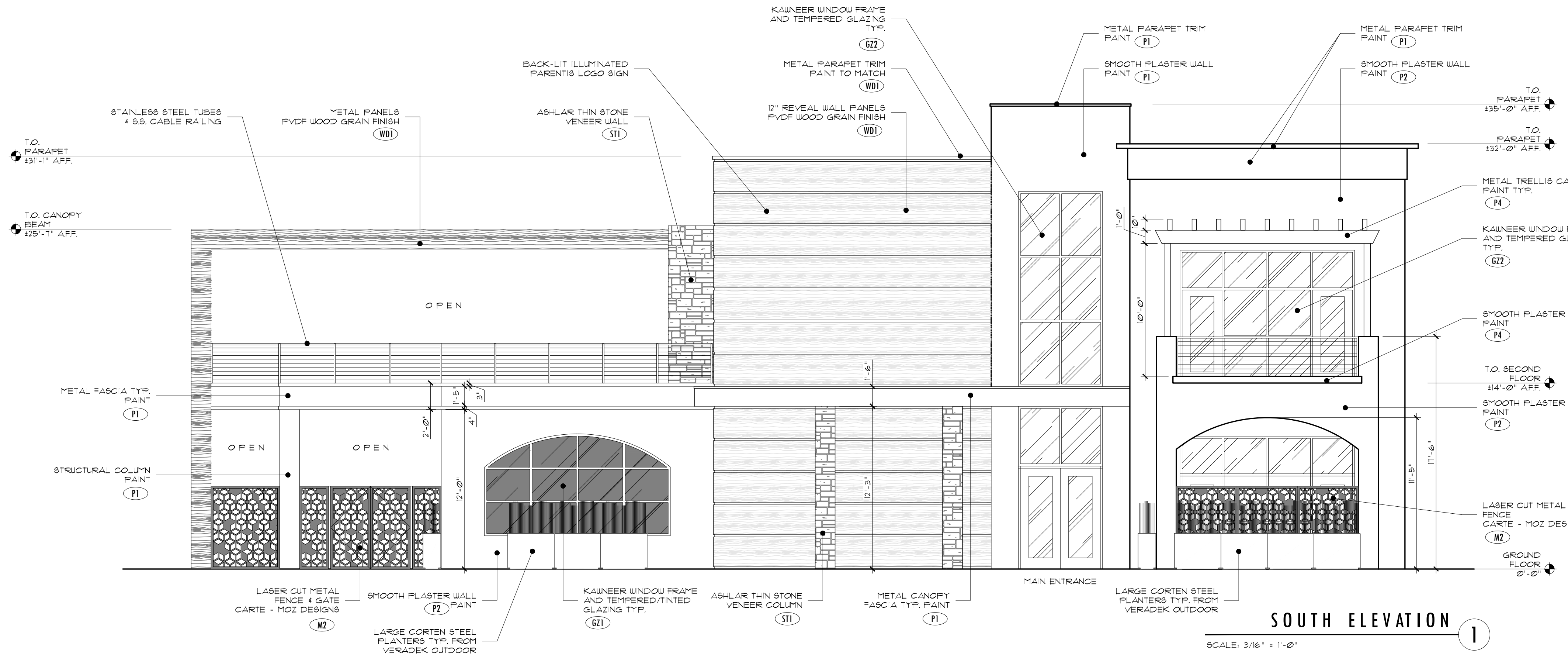
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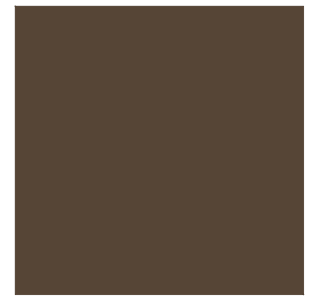
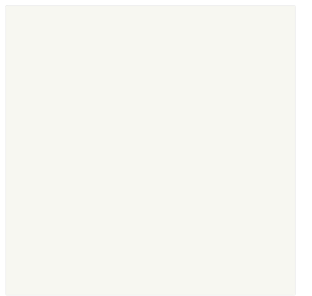


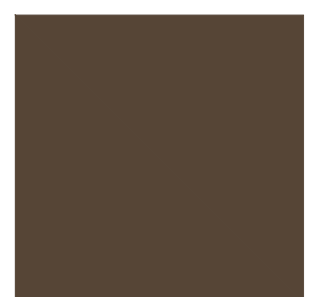
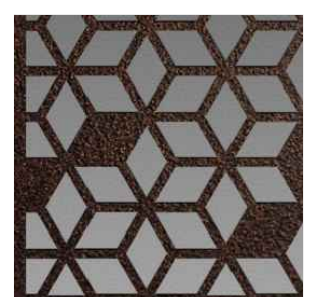


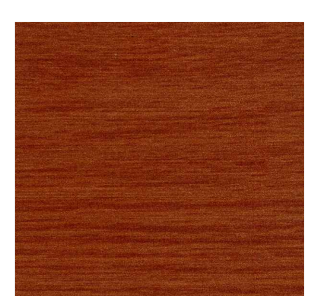
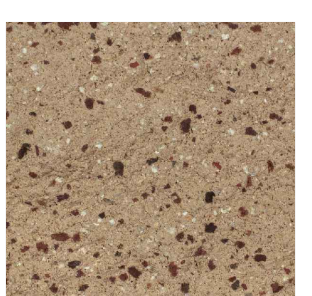



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NORTH ELEVATION 2
 SCALE: 3/16" = 1'-0"



SOUTH ELEVATION 1
 SCALE: 3/16" = 1'-0"

 P1 PAINT SW 1041 (VAN DYKE BROWN)	 P2 PAINT SW 7151 (HIGH REFLECTIVE WHITE)
 P3 PAINT SW 1041 (VAN DYKE BROWN)	 P4 PAINT SW 7105 (COPPER POT)
 M1 METAL PANEL PANEL PAINTED (P3)	 M2 METAL PANEL LASER CUT CARTE (R0517)
 M3 METAL PANEL ALUT. SHEET (RUST POWDER)	 ST1 THIN STONE ALAMO THIN VENEER ASHLAR (STONE RIDGE POSSBL.)
 WD1 WOOD METAL PANEL PAC-CLAD REVEAL PANEL (WOOD / COPPER)	 CMU1 CONCRETE BLOCK GRECO BLOCK, # HARDSCAPE (7"X11"X8" SPLIT FACE)
 T1 CONCRETE TILE ART. BACKS MADRONA COLLECTION (CARRN)	 G21 DOUBLE GLAZED GLASS GUARDIAN GLASS (8'X6' 5/16" CRYSTAL BLUE CLEAR)
 G22 DOUBLE GLAZED GLASS GUARDIAN GLASS (8'X6' 5/16" CRYSTAL BLUE CLEAR)	

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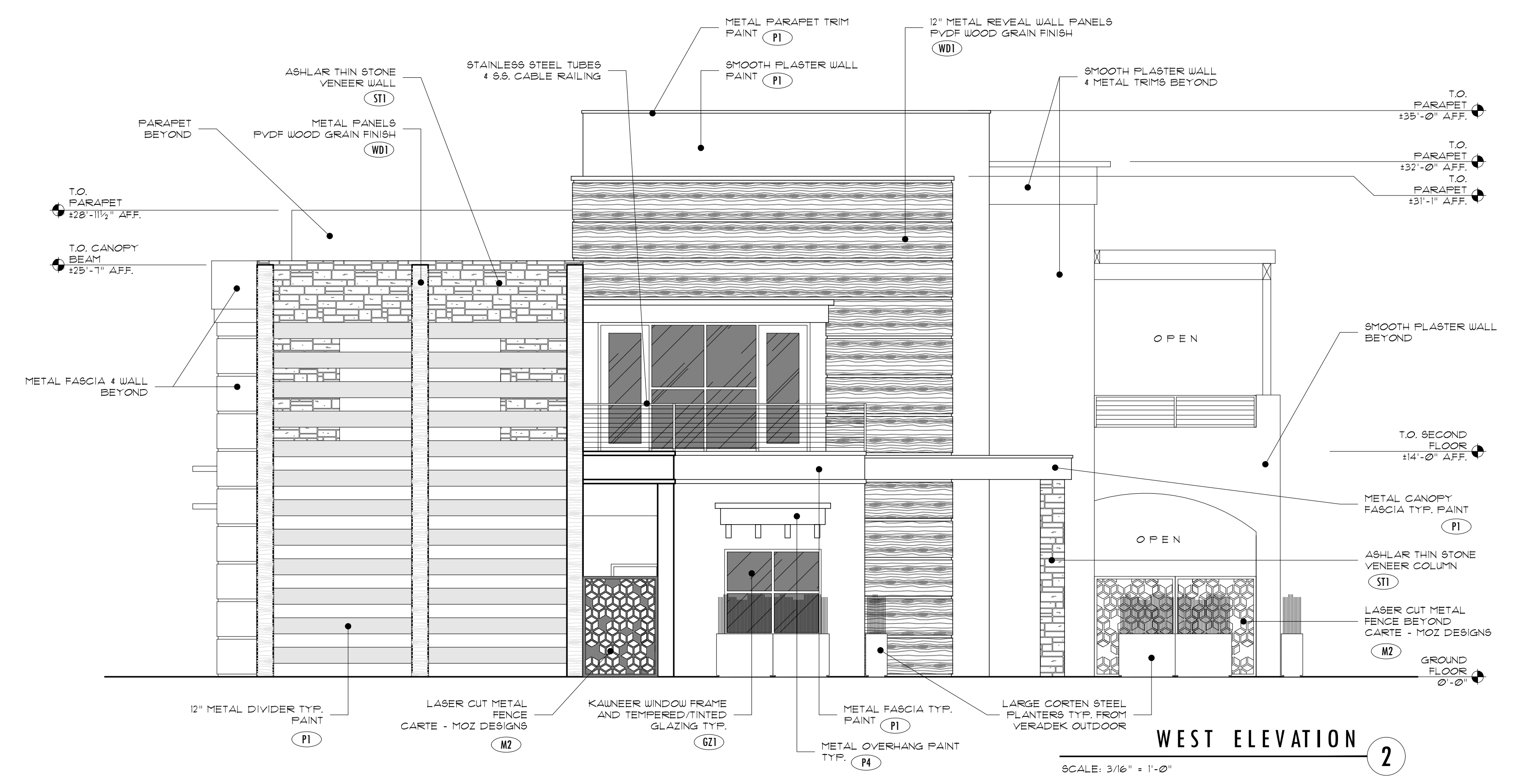
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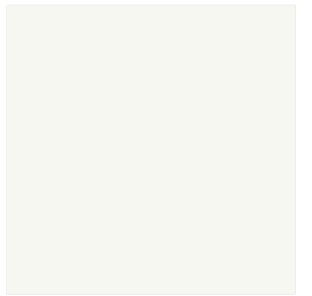





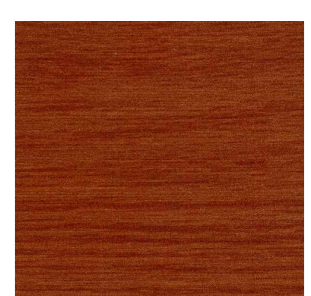
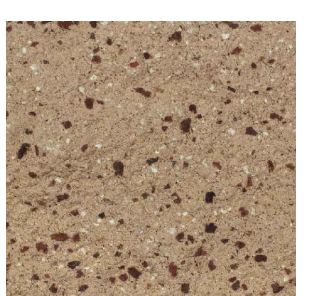



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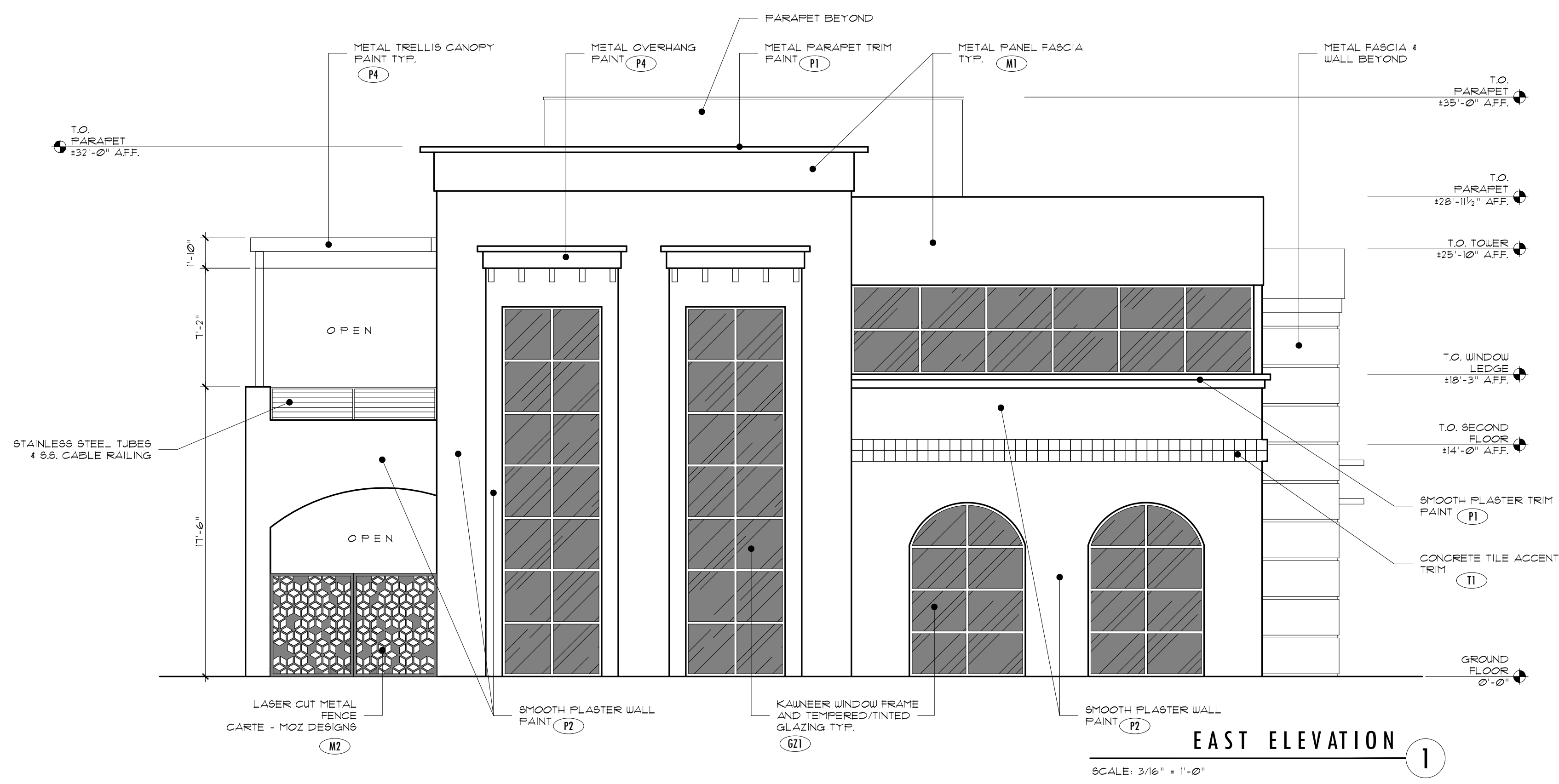
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PLANNING SUBMITTAL	05/10/23

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A3.0



 P1 PAINT SW 1041 (VAN DYKE BROWN)	 P2 PAINT SW 1151 (HIGH REFLECTIVE WHITE)
 P3 PAINT SW 1041 (VAN DYKE BROWN)	 P4 PAINT SW 1105 (COPPER POT)
 M1 METAL PANEL PANEL PAINTED (P3)	 M2 METAL PANEL LASER CUT CARTE (MOZ)
 M3 METAL PANEL ALUM. SHEET (RUST POWDER)	 ST1 THIN STONE ALAMO THIN VENEER ASHLAR (STONE RIDGE POSSIBLE)
 WD1 WOOD METAL PANEL PAC-GLAD REVEAL PANEL (WOOD / COPPER)	 CMU1 CONCRETE BLOCK ORCO BLOCK, 4 HARDSCAPE (TAN HIGH-SPLIT FACE)
 T1 CONCRETE TILE JANI BACKS MADRONA COLLECTION (CAIRN)	 GZ1 DOUBLE GLAZED GLASS GUARDIAN GLASS (84X 91/23 GRYS/BLU BLUE CLEAR)
	 GZ2 DOUBLE GLAZED GLASS GUARDIAN GLASS (84X 91/23 GRYS/BLU BLUE CLEAR)



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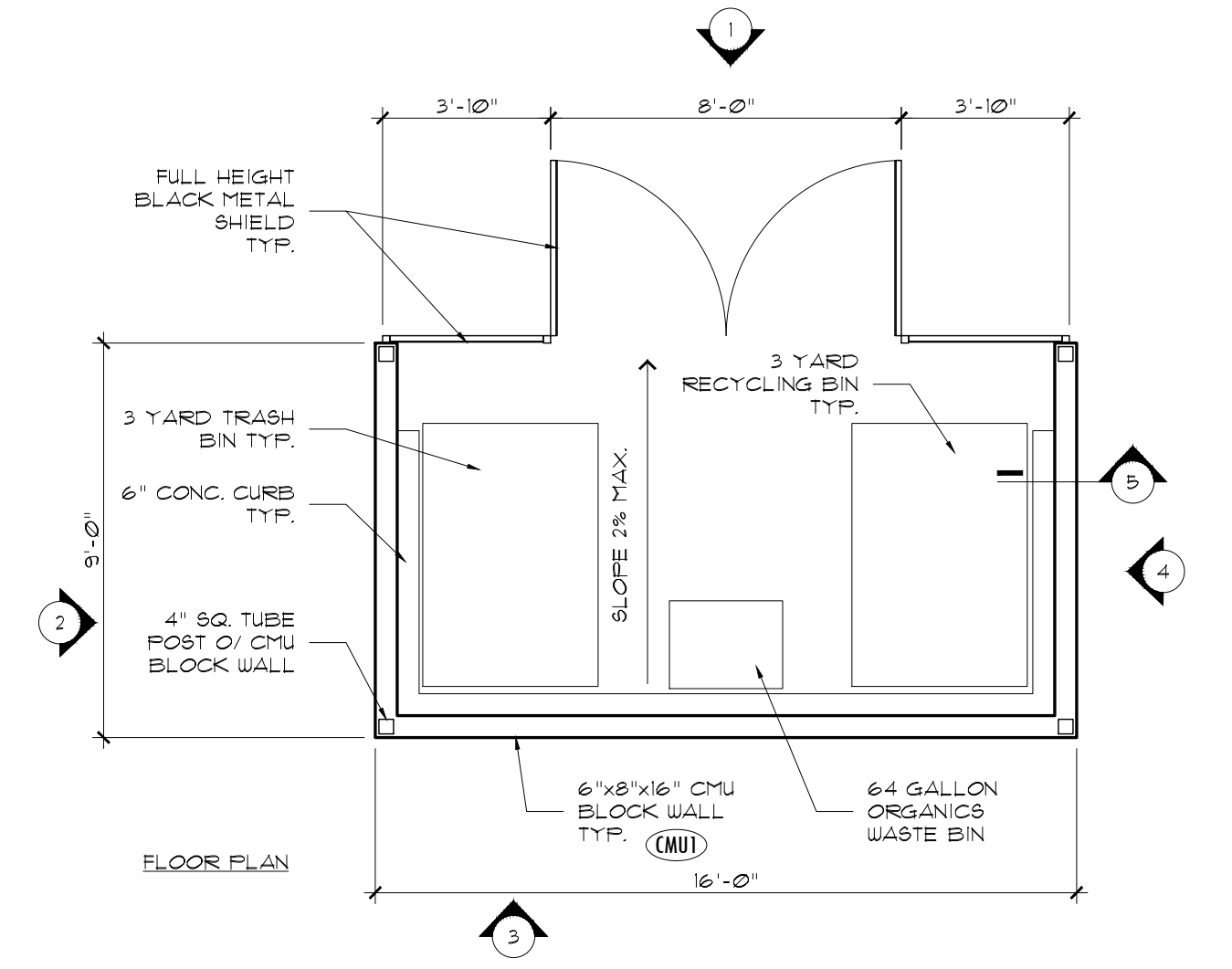
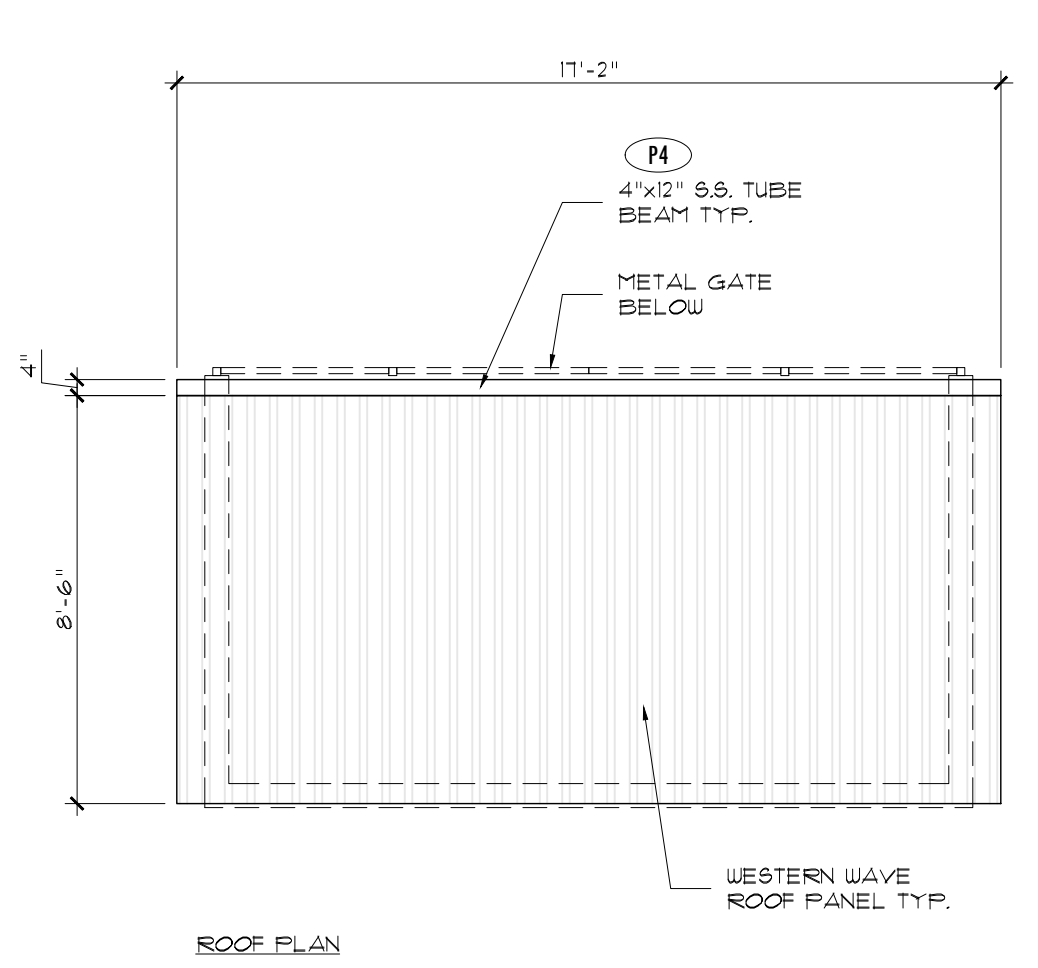
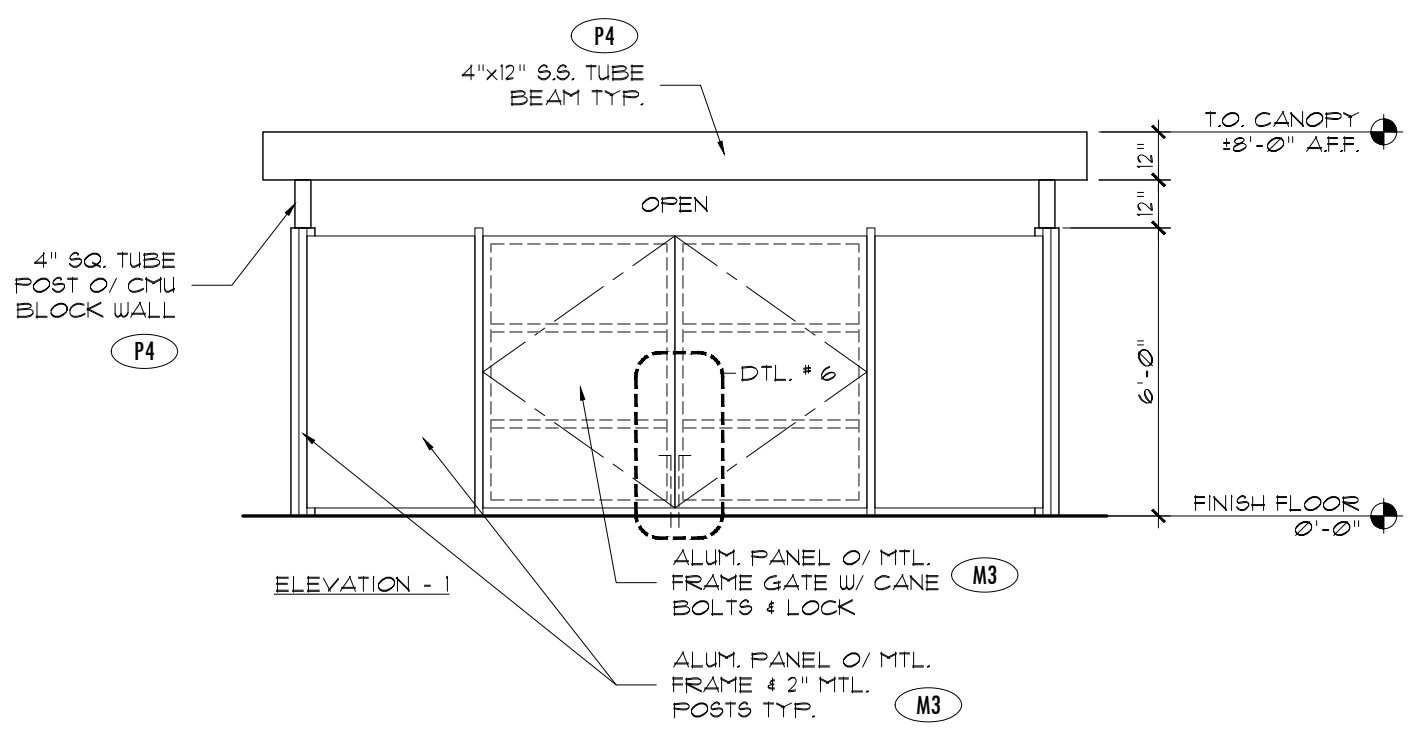
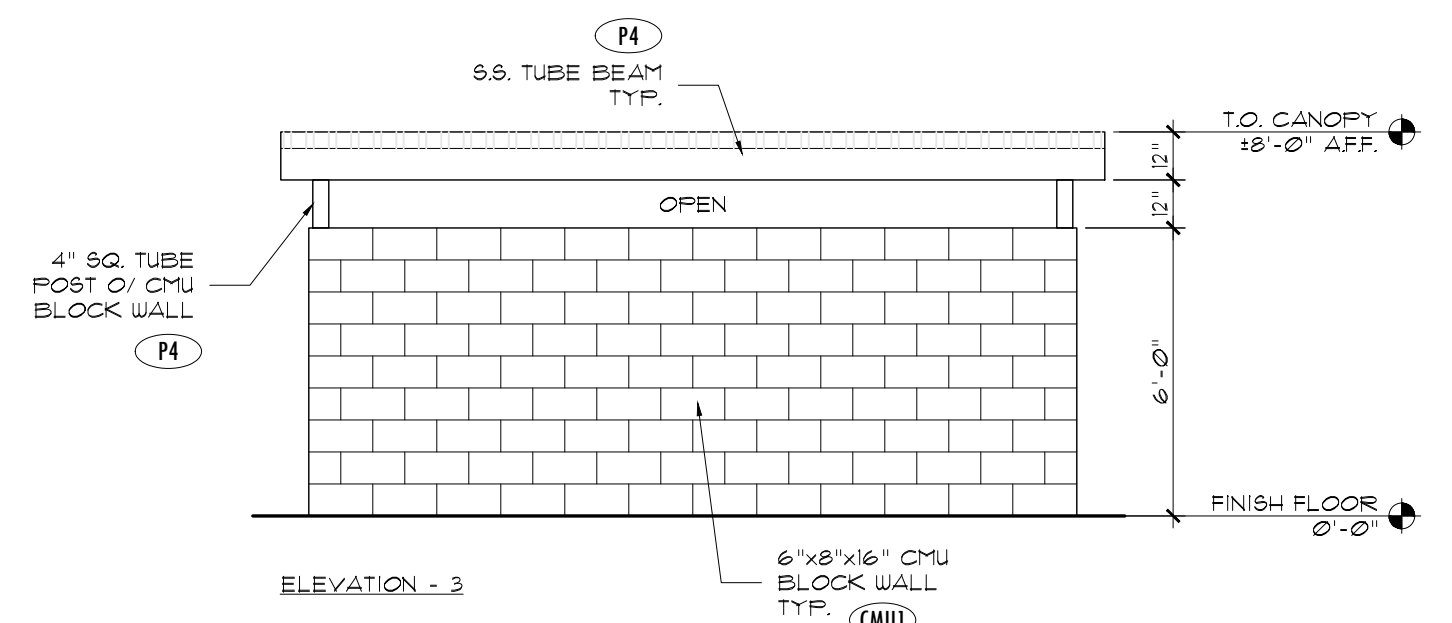
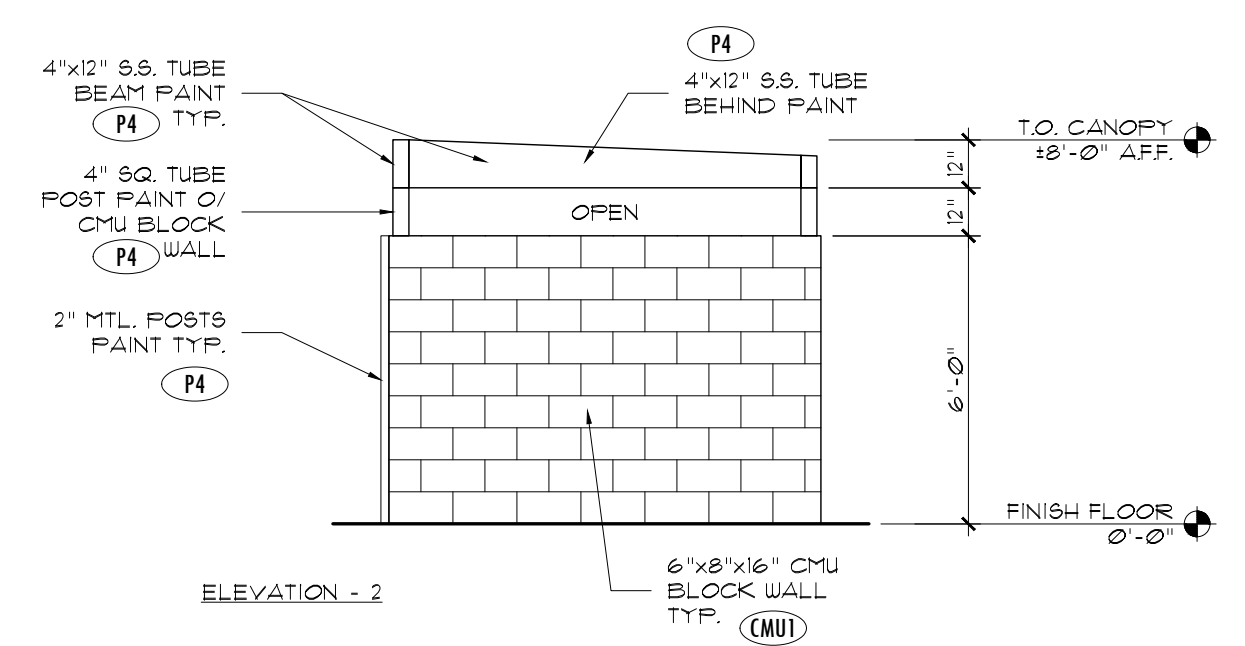
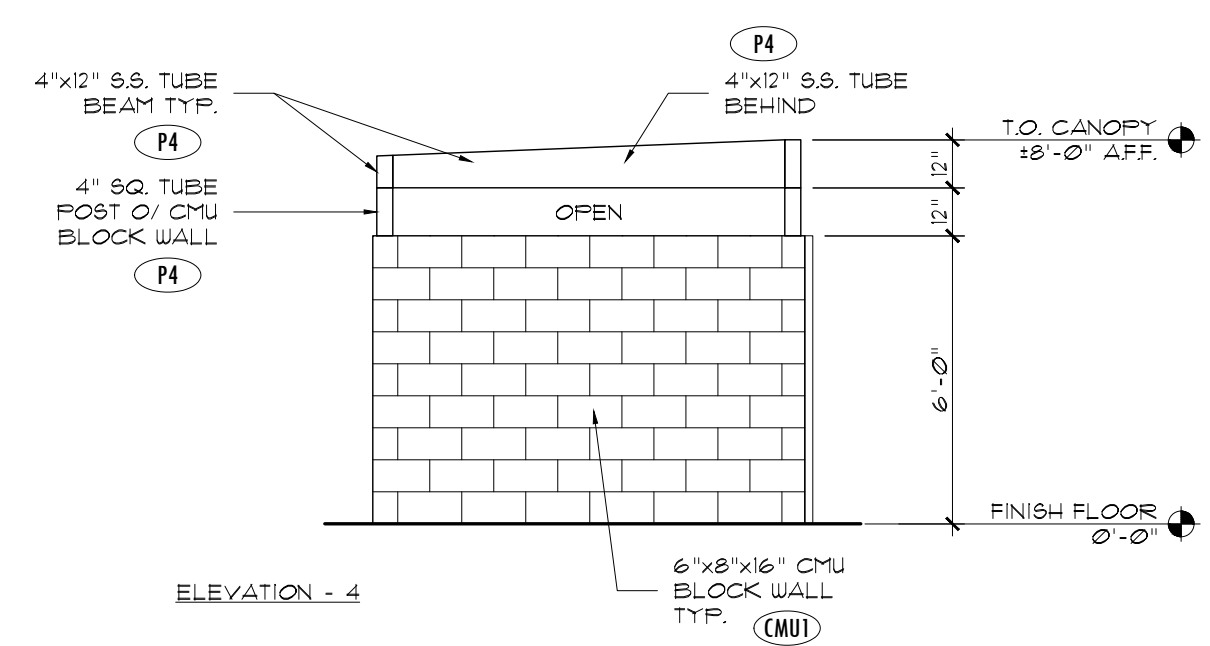
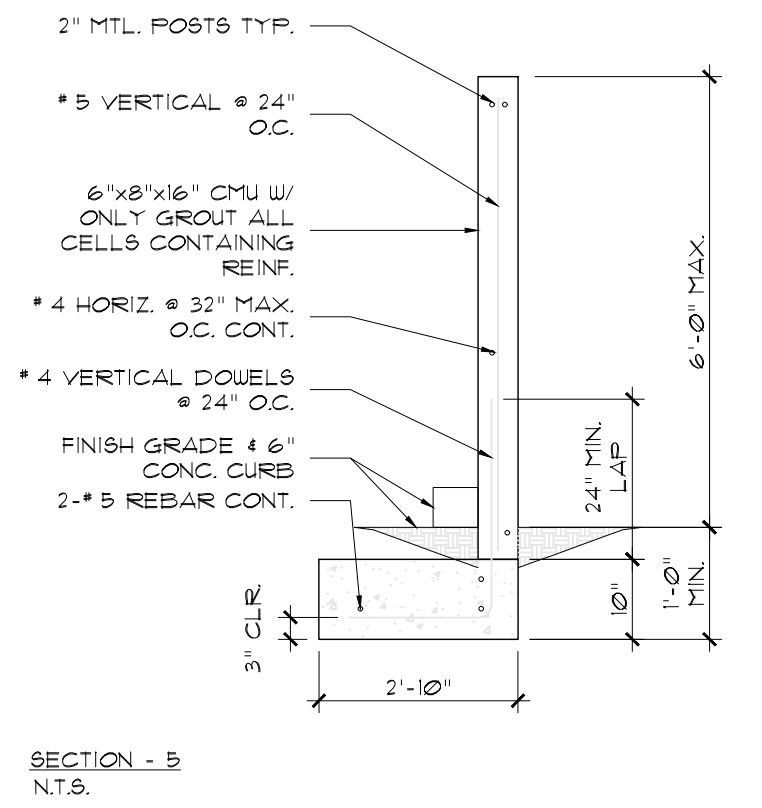
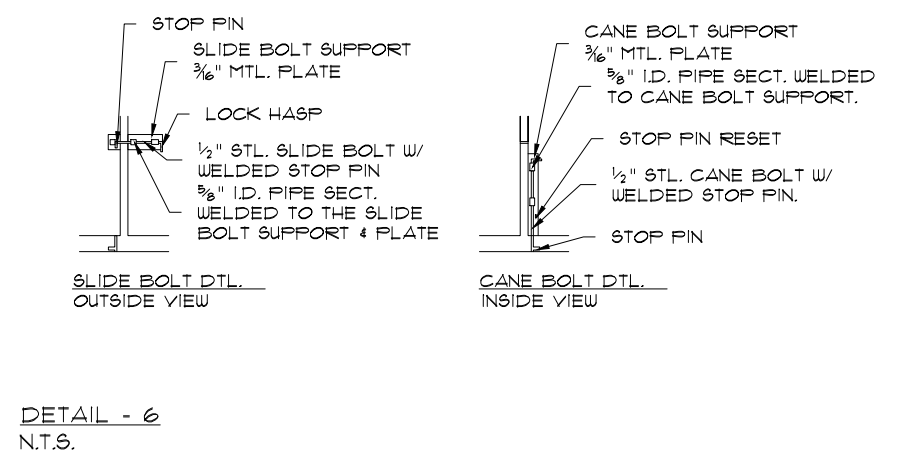
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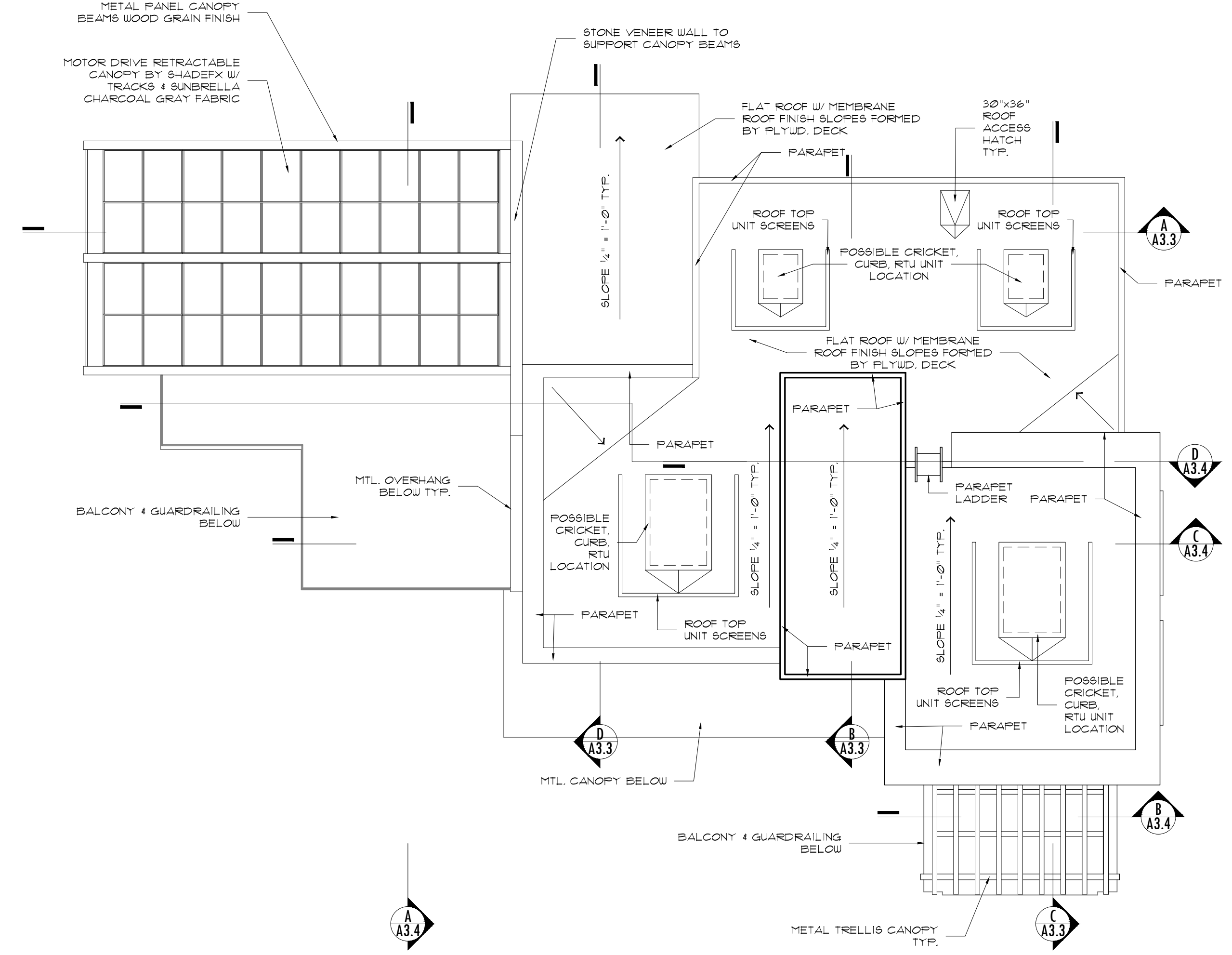
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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A3.1



PROPOSED TRASH ENCLOSURE



PROPOSED ROOF PLAN

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SHEET TITLE
**PROPOSED ROOF PLAN & TRASH
 ENCLOSURE**

SHEET NUMBER
A3.2



Luminaire Schedule

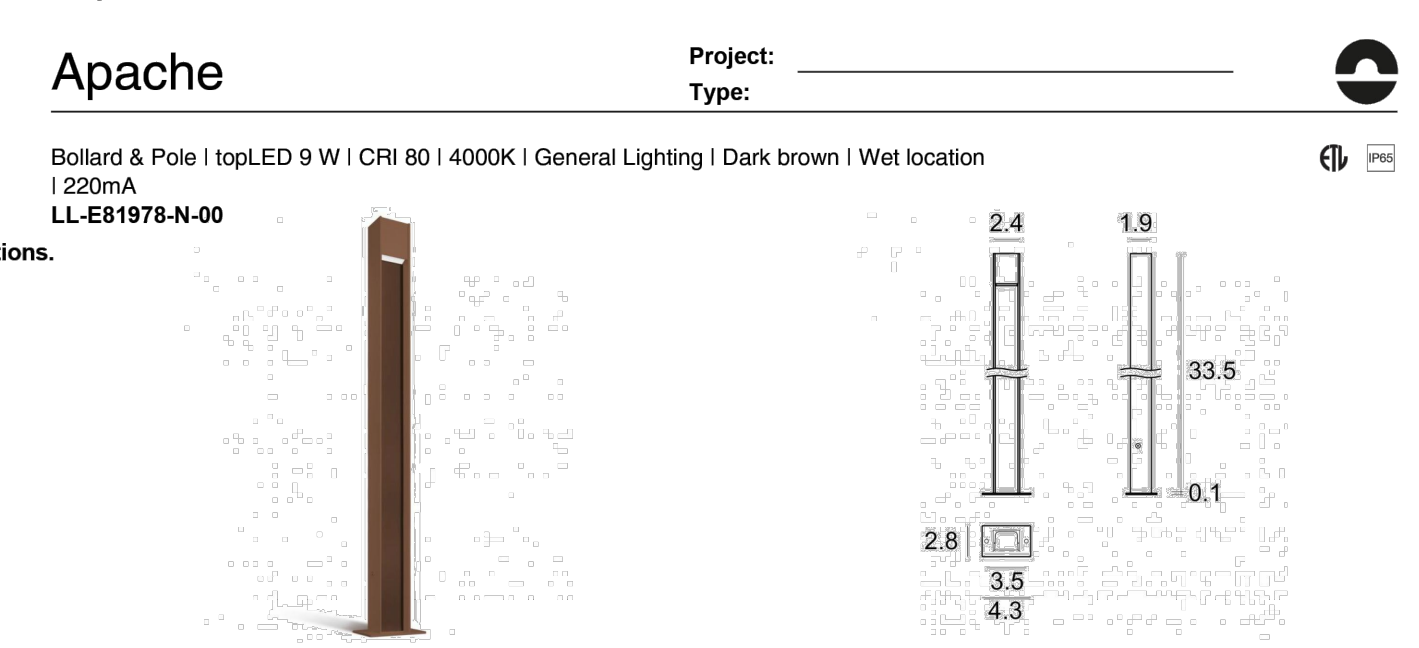
Symbol	Qty	Label	Arrangement	Total Lamp Lumens LLF	Description
OP1	15	OP1	SINGLE	N.A.	inter lux // 81978N00

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Area_1	illuminance	Fc	0.52	65.0	0.0	N.A.	N.A.
Area_2	illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Spill light	illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

Jobname: Parentis Health Site_2022-12-5-AGI
Report for: Adrienne Amico
Report by: Ismael Avina-Prieto / Applications Engineer
Mounting Ht.: See Drawing
See Luminaire Schedule for Light Loss Factor - Unless otherwise specified by customer
Reflectance: 80/50/20 - Unless otherwise specified by customer
Date: 12/5/2022

Disclaimer:
 Luminaire data is obtained according to IES procedures under controlled laboratory conditions. Field results may differ from computer predictions due to many uncontrollable factors including, but not limited to Line Voltage Variations, Lamp Performance, Ballast input watts, LED Drivers input watts, Temperature Variations and Jobsite Conditions.



Technical data

Designer	Studio RIGGO
Type	Bollard
Installation position	Floor
Installation environment	Outdoor
Light Source	LED
Optics	General Lighting
Light emission direction	downward
Power	9 W
Operation	220mA
Source lumens	1313 lm
CCT	4000 K
Color rendering index	80 Ra
Safety class	Class 2
IP	IP65
IK	IK08
Glow wire test	850°
Direct mounting on normally flammable surfaces	Yes
CE	Yes
ETL	Yes
Dimmable article	No
Directional	No
Tilting	No
Walk-over	No
Drive-over	No
Cable included	No
Resin potting	No
Type of light emission	Single emission
Net weight	2.28 Kg
Electrostatic discharge protection	4 KV
Surge protection	0.5 KV
Ordinary temperature on the glass	104 °F

Finishing casing

Material	Aluminum 6000
Color	Dark brown
Process	Open pore anodizing + Powder Coating

Finishing diffuser

Material	UV Resistant Polycarbonate
Color	opaline

Finishing base

Material	Galvanised Iron
Color	Dark brown
Process	Powder coating

Notes:

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SHEET TITLE
SITE PLAN PHOTOMETRICS

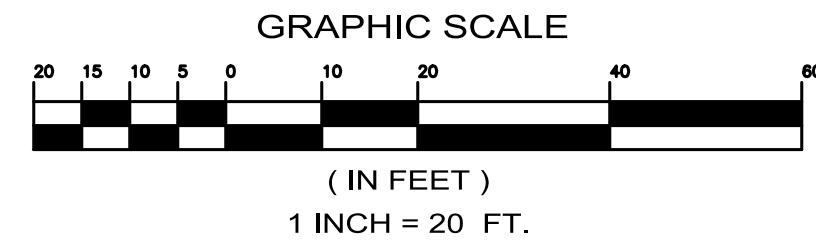
SHEET NUMBER
SP1

LEGEND

- FIRE HYDRANT
— EDGE PAVEMENT
— WATER VALVE
— METER, PULL BOX
— SIGN
— CONCRETE
— BLOCK WALL
— LIGHT STANDARD
— TRAFFIC SIGNAL
— STREET LIGHT
— HANDICAP STALL
— WROUGHT IRON FENCE
— WOOD FENCE
— CHAINLINK FENCE
— PARKING COUNT
— BUILDING HEIGHT INDICATOR
AC — ASPHALT PAVEMENT
BFD — BACK FLOW DEVICE
BL — BLOCKED
BM — AC BERM
BW — BACK OF WALK
BX — BOTTOM OF X
CD — CURB DRAIN
CO — CLEANOUT
EG — EDGE OF GUTTER
EV — EDISON VAULT
FC — FINISHED CONCRETE
FF — FINISHED FLOOR
FH — FIRE HYDRANT
FL — FLOW LINE
FP — FLAG POLE
FS — FINISHED SURFACE
GB — GRADE BREAK
GI — GRATE INLET
L — LOT LINE
NG — NATURAL GROUND
PA — PLANTER AREA
PB — PULL BOX
PL — PROPERTY LINE
FMH — PACIFIC BELL MANHOLE
RAD — RADIAL
RF-DN — ROOF DRAIN
R/W — RIGHT OF WAY
SDMH — STORM DRAIN MANHOLE
SMH — SEWER MANHOLE
SPB — SIGNAL PULL BOX
T — TRANSFORMER
TC — TOP OF CURB
TE — TRASH ENCLOSURE
TG — TOP OF GRATE
TX — TOP OF X
UR — UTILITY ROOM
WM — WATER METER

LIST OF ENCROACHMENTS

NONE TO STATE



BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF EL TORO ROAD BEARING NORTH 87°34'17" WEST AS SHOWN ON TRACT MAP NO. 16835 BOOK 896 PAGE 35-38, RECORDS OF SAID COUNTY.

ZONING INFORMATION

NONE PROVIDED

FLOOD ZONE INFORMATION

ZONE: X AREA OF MINIMAL FLOOD HAZARD

PANEL NO. 06059C 0427J

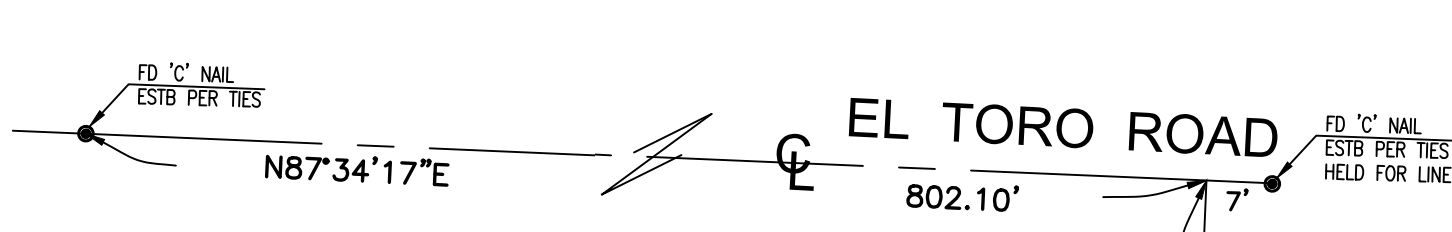
DATED: DECEMBER 3, 2009

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

GENERAL NOTES

- 1. SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE CURRENT TITLE REPORT BY STEWART TITLE GUARANTY COMPANY REPORT NO. 20000480499 DATED JULY 15, 2020 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY.
2. THE PHRASE "FLOOD HAZARD" WITHIN THE CERTIFICATION HEREON REFERS TO "SPECIAL FLOOD HAZARD AREA" AS DEFINED BY FEMA AND THE NIP AND ONLY REFERS TO THOSE AREAS ON FLOOD INSURANCE RATE MAPS AS BEING WITHIN ZONES A OR V OF SAID MAPS.
3. BY OBSERVATION NO CEMETERIES ARE KNOWN OR FOUND ON SUBJECT PROPERTY.
4. NO MONUMENTATION WAS FOUND OR SET AT THE PROPERTY CORNERS UNLESS NOTED OTHERWISE.
5. ASSESSORS PARCEL NUMBERS FOR THIS PROPERTY ARE 621-191-10 AND 621-191-11.
6. SURVEYOR TAKES NO RESPONSIBILITY OF ITEMS OMITTED DUE TO A RESULT OF VISUAL OBSTRUCTIONS, SUCH AS AUTOMOBILES, EQUIPMENT & THICK SHRUBBERY.
7. THE BUILDING SQUARE FOOTAGE INDICATED ON THIS PLAN IS BASED ON EXTERIOR DIMENSIONS AT GROUND LEVEL ONLY.
8. THIS PLAN AND/OR DATA FILES INCLUDING ALL CONTENTS HEREIN ARE FOR THE SOLE USES AND PARTIES INCLUDING THEIR SUCCESSORS AND ASSIGNS. ANY DEVIATION OR MISUSE OF THIS PLAN AND/OR DATA FILES WITHOUT PRIOR WRITTEN AGREEMENTS BY ANACAL ENGINEERING IS PROHIBITED AND IS THE RESPONSIBILITY OF THE PARTIES USING SAID DRAWING AND/OR DATA FILES. UPON THE REUSE OF THIS PLAN AND/OR DATA FILES ANACAL ENGINEERING RELINQUISHES ALL RESPONSIBILITIES OF THE ACCURACY AND GENERAL CONTENT OF SAID PLAN AND/OR DATA FILES CONTAINED HEREIN.
9. NO WETLANDS REPORT WAS PROVIDED AT THE TIME OF THIS SURVEY AND NO WETLANDS WERE INDICATED BY VISUAL INSPECTION.
10. THERE IS NO EVIDENCE OF EARTH MOVING WORK, EXTERIOR BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED THAT HAVE BEEN DONE WITHIN RECENT MONTHS.
11. THERE IS NO EVIDENCE OF SOLID WASTE DUMP, SUMP OR SANITARY LAND FILL USE.
12. THERE WAS NO RESEARCH DONE AT THE CITY'S &/OR COUNTY'S PUBLIC WORKS DEPARTMENTS TO INDICATE THAT THERE ARE ANY CHANGES IN THE STREET RIGHT OF WAY LINES AS SHOWN HEREON. FURTHERMORE THERE IS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSION TO VERIFY THIS INFORMATION PRIOR TO ANY FUTURE DESIGN WORK.
13. BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION AND ENTER THROUGH ADJOINING STREETS AND/OR EASEMENTS OF RECORD. UNDERGROUND EVIDENCE FROM PLANS WERE NEITHER PROVIDED OR FOUND OF RECORD.
14. IF UNDERGROUND UTILITIES OR OTHER STRUCTURES, ZONES, SETBACK AND/OR STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION DUE TO CHANGED CONDITIONS NOT REFLECTED IN THE STANDARD RESEARCH PERFORMED FOR THIS PROJECT. ANY USER OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY COMPANY OR LOCAL AGENCY DIRECTLY.
15. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE NOTED.
16. SITE HAS DIRECT ACCESS FROM PASEO DE VALENCIA, A PUBLIC RIGHT-OF-WAY.
17. SURVEYOR DOES NOT ASCERTAIN OWNERSHIP OF FENCES AND PERIMETER WALLS.
18. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS; ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
19. THE DIFFERENCES BETWEEN CALLS OF RECORD AND THOSE THAT WERE FOUND DO NOT CREATE ANY GAPS OR OTHER TITLE PROBLEMS.
20. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF THE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES REFERENCED IN SAID TITLE COMMITMENT OR APPEARING FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
21. THE PROPERTY HEREON IS THE SAME PROPERTY DESCRIBED IN REPORT NO. 20000480499 WITH AN EFFECTIVE DATE OF JULY 15, 2020 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPEARING FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
22. THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT AND ANY EXCEPTIONS HAVE BEEN NOTED.

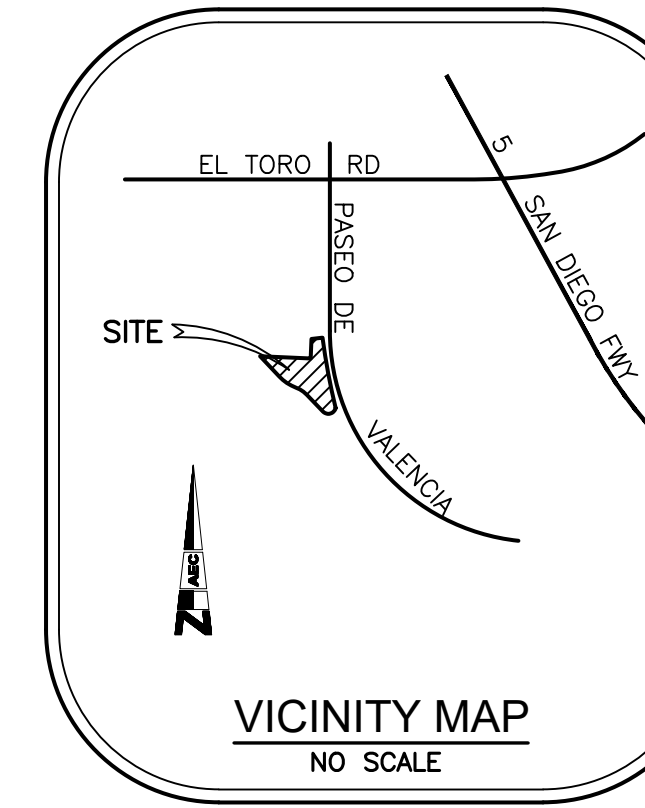
LEGEND table with symbols and dimensions:
- Triangle with 'A': Δ=124'05"26" R=20.00' L=43.32'
- Triangle with 'B': Δ=24'56"13" R=80.00' L=34.82'
- Triangle with 'C': Δ=25'41"13" R=120.00' L=53.80'



LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

PARCEL A: PARCELS 2 AND 3, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 65, PAGE 41 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.
PARCEL B: AN EASEMENT FOR INGRESS AND EGRESS AND PEDESTRIAN AND VEHICULAR TRAFFIC PURPOSES OVER THAT PORTION OF LOT 8 OF TRACT 5061, AS SHOWN ON A MAP RECORDED IN BOOK 183, PAGES 4 TO 8 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
PARCEL C: AN EASEMENT FOR INGRESS AND EGRESS AND PEDESTRIAN AND VEHICULAR TRAFFIC PURPOSES OVER THE EXISTING DRIVEWAYS AND PARKING AREAS WITHIN THE LAND SHOWN AS PARCEL 4, AS SHOWN ON A MAP FILED IN BOOK 65, PAGE 41 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.



LAND AREA: 16,828 SQUARE FEET, 0.386 ACRES

PARKING COUNT: REGULAR STALLS - 9, ADA STALLS - 1, TOTAL STALLS - 10

EASEMENT NOTES

- THE FOLLOWING ITEMS WERE FOUND IN STEWART TITLE GUARANTY COMPANY FILE NO. 20000480499 DATED JULY 15, 2020:
1. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 21, 1926, IN BOOK 678, PAGE 106 OF DEEDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
2. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, AS SET FORTH IN A DOCUMENT RECORDED MARCH 16, 1951, IN BOOK 2159, PAGE 416, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
3. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 7, 1955, IN BOOK 3201, PAGE 431, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
4. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, AS SET FORTH IN A DOCUMENT RECORDED JUNE 18, 1944, IN BOOK 688, PAGE 372, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
5. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA TELEPHONE COMPANY, AS SET FORTH IN A DOCUMENT RECORDED JULY 3, 1946, IN BOOK 1426, PAGE 327, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
6. COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENTS AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 27, 1963, IN BOOK 6736, PAGE 318 OF OFFICIAL RECORDS, AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
7. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PIPELINES TO ROSSMOOR WATER COMPANY, A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 15, 1964, IN BOOK 688, PAGE 70, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
8. COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENTS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 6844, PAGE 449 OF OFFICIAL RECORDS, BUT OMITTING ANY RESTRICTIONS, AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
9. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR INGRESS, EGRESS PUBLIC UTILITIES EASEMENT, SEWERS TO LAGUNA HILLS MUTUAL NO. FOUR, A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 11, 1964, IN BOOK 7215, PAGE 457, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
10. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR INGRESS, EGRESS, PUBLIC UTILITIES EASEMENT, SEWERS TO LAGUNA HILLS MUTUAL NO. FIVE, A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 30, 1964, IN BOOK 7241, PAGE 151 OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
11. COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENTS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 8544, PAGE 898 OF OFFICIAL RECORDS. AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
12. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR SANITARY SEWER PIPE LINES, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 15, 1964, IN BOOK 6885, PAGE 72, OF OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
13. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 13, 1972, IN BOOK 9356, PAGE 363, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 'C' AND IS NOT PLOTTED HEREON.
14. COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENTS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 9390, PAGE 111 OF OFFICIAL RECORDS, AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
15. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR SANITARY SEWER INSTALLATION TO ROSSMOOR SANITATION, INC., A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED AUGUST 12, 1971, IN BOOK 9758, PAGE 866, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 'C' PROPERTY AND IS NOT PLOTTED HEREON.
16. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PIPELINE TO ROSSMOOR WATER COMPANY, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 16, 1971, IN BOOK 9806, PAGE 353, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 'C' AND A PORTION IS PLOTTED HEREON.
17. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR SEWER PIPELINE TO ROSSMOOR SANITATION, INC., AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 16, 1971, IN BOOK 9806, PAGE 357, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 'C' AND A PORTION IS PLOTTED HEREON.
18. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 6, 1972, IN BOOK 10071, PAGE 244, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 3 AND IS NOT PLOTTED HEREON.
19. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 13, 1972, IN BOOK 10080, PAGE 342, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 3 AND IS NOT PLOTTED HEREON.
20. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JULY 9, 1974, IN BOOK 11191, PAGE 914, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 3 AND IS NOT PLOTTED HEREON.
21. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 23, 1974, IN BOOK 11248, PAGE 1842, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 3 AND IS NOT PLOTTED HEREON.
22. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR STREET & HIGHWAY TO COUNTY OF ORANGE, AS SET FORTH IN A DOCUMENT RECORDED DECEMBER 19, 1974, IN BOOK 11308, PAGE 1135, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 3 AND IS NOT PLOTTED HEREON.
23. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR SANITARY SEWER INSTALLATIONS TO ROSSMOOR SANITATION, INC., A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED FEBRUARY 25, 1975, IN BOOK 11345, PAGE 1906, OF OFFICIAL RECORDS. EASEMENT AFFECTS PARCEL 3 AND IS NOT PLOTTED HEREON.

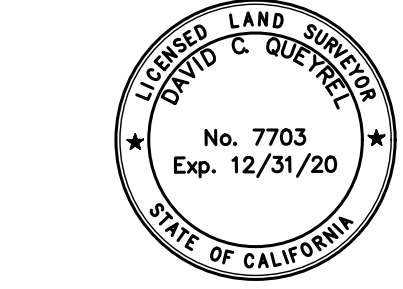
SURVEYORS CERTIFICATE

THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF CALIFORNIA CERTIFIES TO (I) PARCELS HEALTH (II) STEWART TITLE GUARANTY COMPANY, AS FOLLOWS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11 WITH EVIDENCE FROM PLANS PROVIDED AND VISIBILITY ABOVE GROUND ON-SITE OBSERVATION), 12, 13, 14, 16, 17, 18, 19 AND 20 (1,000,000.00) OF TABLE THEREOF.

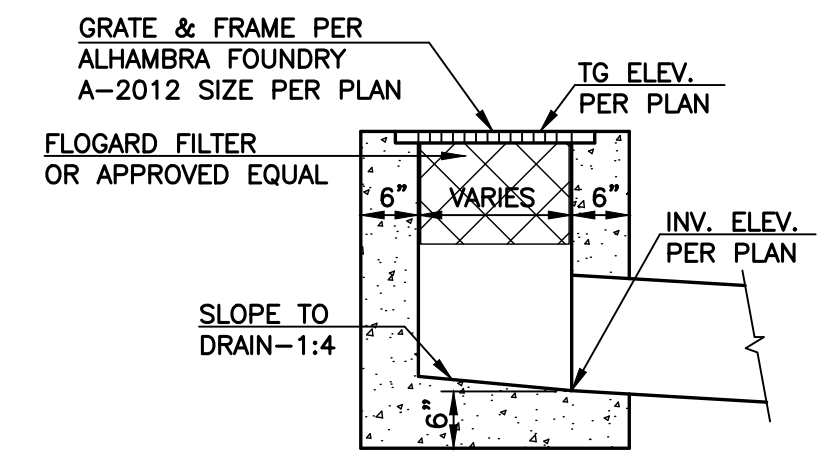
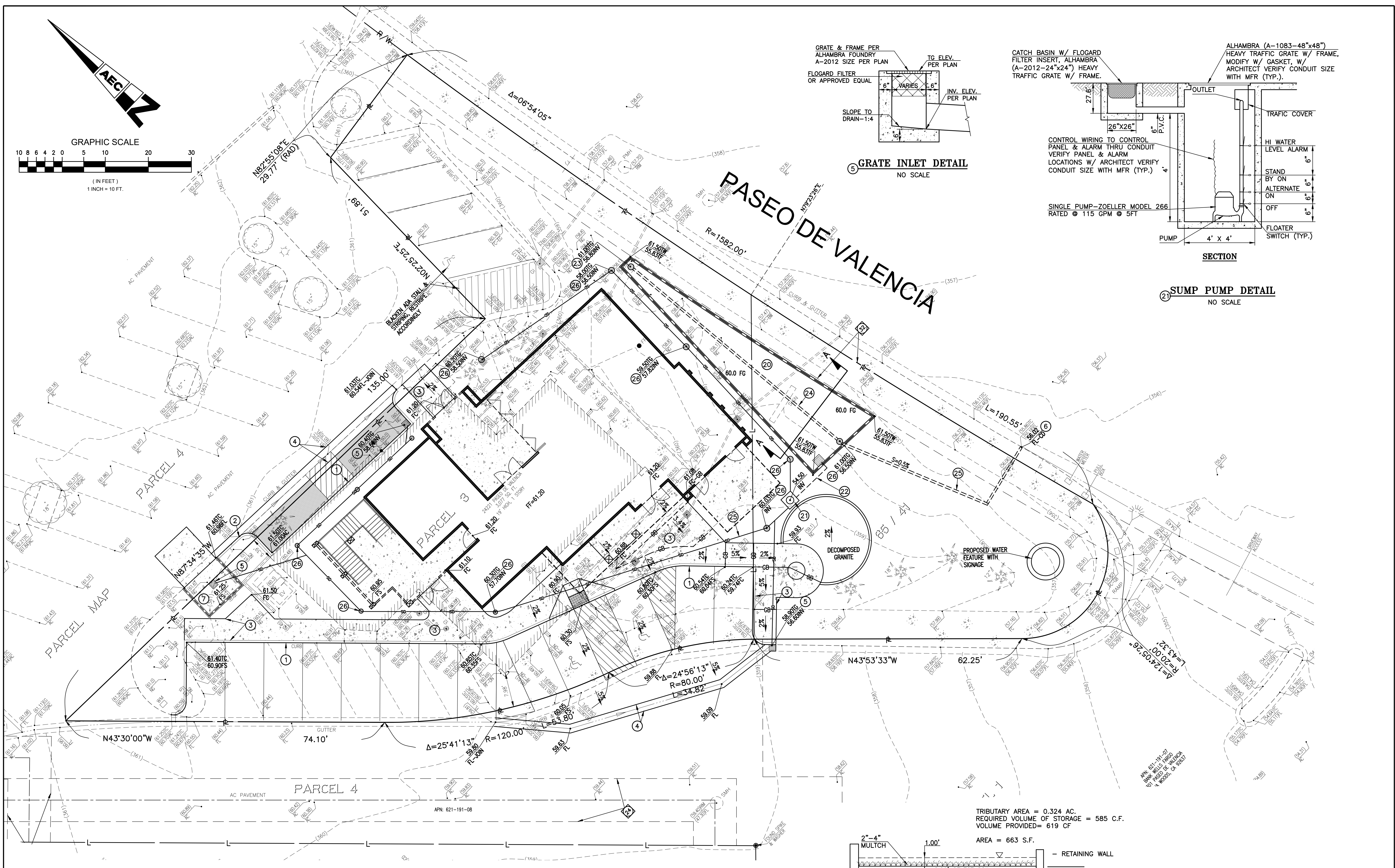
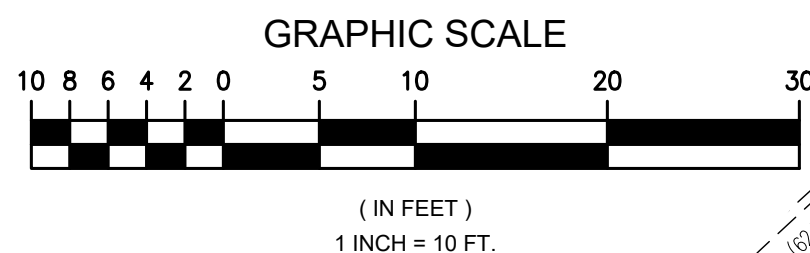
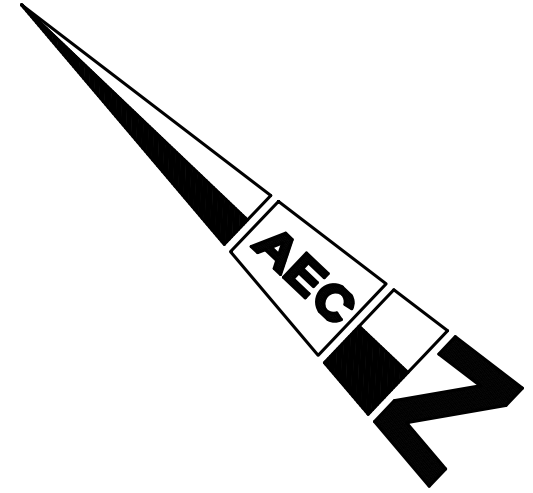
THE FIELD WORK WAS COMPLETED ON SEPTEMBER 1, 2020. DATE OF PLAT OR MAP: SEPTEMBER 10, 2020

D. C. QUEYRENS 7703 DATE 9/10/2020

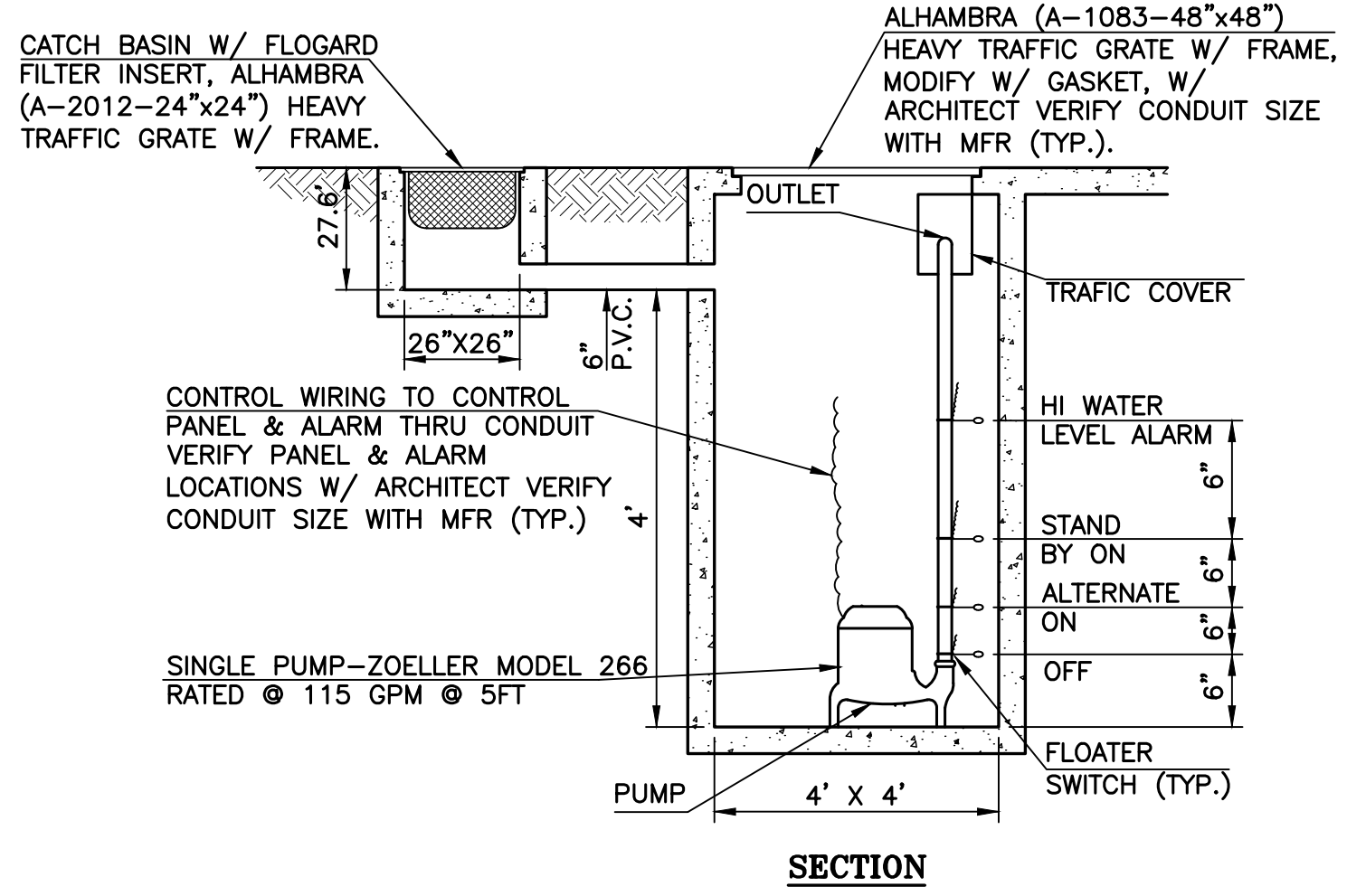


NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

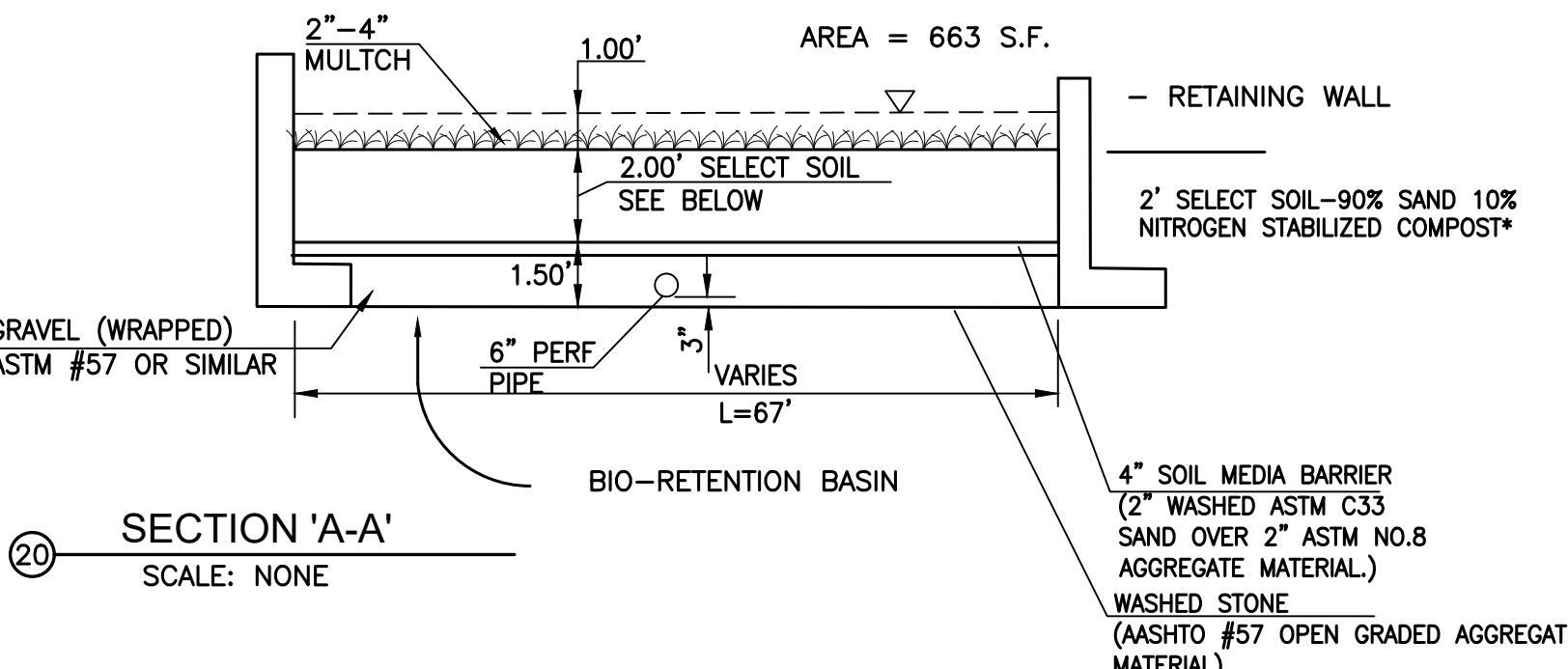
Vertical sidebar containing: PROJECT ENGINEER ANACAL ENGINEERING & LAND SURVEYING, PROJECT A.L.T.A. / N.S.P.S. LAND TITLE SURVEY, SHEET TITLE 1 OF 1, PROJECT 24221 PASEO DE VALENCIA, SHEET NO. 1 OF 1, JOB NO. 20-083A, and a map of California with a red dot indicating the project location.



5 GRATE INLET DETAIL
NO SCALE



21 SUMP PUMP DETAIL
NO SCALE

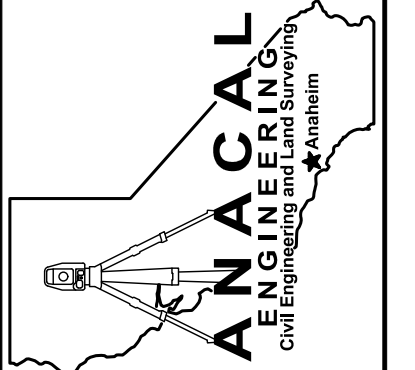


- CONSTRUCTION NOTES**
- 1 CONSTRUCT CONCRETE CURB
 - 2 CONSTRUCT CURB AND GUTTER PER COUNTY STD. A2-6(150)
 - 3 CONSTRUCT CONCRETE SIDEWALK
 - 4 CONSTRUCT GUTTER
 - 5 CONSTRUCT GRATE INLET PER DETAIL HERON
 - 6 CONSTRUCT CURB DRAIN
 - 7 CONSTRUCT TRASH ENCLOSURE PER ARCHITECT SPECS

- STORM DRAIN CONSTRUCTION NOTES**
- 20 CONSTRUCT RETENTION BASIN PER DETAIL A-A HEREON
 - 21 CONSTRUCT SUMP PUMP PER DETAIL HEREON
 - 22 CONSTRUCT 3" STEEL FORCE MAIN
 - 23 CONSTRUCT CAPPED CLEANOUT PORT
 - 24 CONSTRUCT 6" PERFORATED PIPE
 - 25 INSTALL 6" PVC PIPE FOR STORM DRAIN SYSTEM
 - 26 CONSTRUCT YARD DRAIN PER DETAIL ON SHEET 2

TRIBUTARY AREA = 0.324 AC.
 REQUIRED VOLUME OF STORAGE = 585 C.F.
 VOLUME PROVIDED = 619 CF
 AREA = 663 S.F.

REVISIONS	
NO.	DESCRIPTION



ANACAL ENGINEERING COMPANY
 CIVIL ENGINEERING & LAND SURVEYING
 1211 NORTH TUSTIN AVENUE
 ANAHEIM, CALIFORNIA 92807
 PHONE: 714-774-1763 FAX: 714-774-4690
 E-MAIL ADDRESS: ANACAL@ANACALENGINEERING.COM

PRELIMINARY GRADING PLAN
PARENTIS HEALTH
24221 PASEO DE VALENCIA

DATE: 08/04/22
 SCALE: AS NOTED
 DRAWN: J. M.
 CHECKED: D. C.

PROJECT ENGINEER: ANACAL ENGINEERING COMPANY
 PROJECT: 24221 PASEO DE VALENCIA
 SHEET TITLE: PRELIMINARY GRADING PLAN
 SHEET NO. 1 OF 1



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	PLANT FACTORS
TREES						
	QUERCUS ILEX	HOLLY OAK	36" BOX	5	LOW	0.10-0.30
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	36" BOX		LOW	0.10-0.30
	LAGERSTROEMIA INDICA 'NATCHEZ'	WHITE CRAPE MYRTLE	36" BOX	11	MEDIUM	0.40-0.60
	PISTACHIA CHINENSIS	CHINESE PISTACHE	36" BOX		MEDIUM	0.40-0.60
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX		MEDIUM	0.40-0.60
SCREENING SHRUBS						
	DODONAEA VISCOSA	HOPBUSH	15 GALLON	LOW	0.10-0.30	
	PRUNUS C. 'COMPACTA'	DWARF CAROLINA CHERRY	15 GALLON	MEDIUM	0.40-0.60	
	PHOTINIA FRASERI	RED TIP PHOTINIA	15 GALLON	MEDIUM	0.40-0.60	
SHRUBS & GRASSES (TOTAL LANDSCAPE AREA = 5,862 S.F.)						
	BOUGAINVILLEA 'ROSENKA'	ROSENKA BOUGAINVILLEA	5 GALLON	LOW	0.10-0.30	
	CALLISTEMON 'LITTLE JOHN'	DWARF CALLISTEMON	5 GALLON	LOW	0.10-0.30	
	DIANELLA TASMANICA 'VARIEGATA'	VARIGATED FLAX LILY	5 GALLON	MEDIUM	0.40-0.60	
	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	CREeping JUNIPER	5 GALLON	LOW	0.10-0.30	
	KNIPHOFIA 'PINEAPPLE POPSICLE'	PINEAPPLE POPSICLE DWARF POKER	5 GALLON	MEDIUM	0.40-0.60	
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GALLON	VERY LOW	<0.10	
	RHAPHIOLEPIS INDICA 'SPRINGTIME'	SPRINGTIME INDIAN HAWTHORN	5 GALLON	LOW	0.10-0.30	
	SENECIO SERPENS	BLUE CHALKSTICKS	5 GALLON	LOW	0.10-0.30	
	TRACHEOLSPERMUM JASMINOIDES	STAR JASMINE	1 GALLON	MEDIUM	0.40-0.60	
	CHONDRPETALUM TECTORUM	CAPE RUSH	5 GALLON	LOW	0.10-0.30	
	FESTUCA MAIREI	ATLAS FESCUE	5 GALLON	LOW	0.10-0.30	
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	5 GALLON	LOW	0.10-0.30	
WATER QUALITY BASIN PLANTS						
	CAREX PANSA	SAND DUNE SEDGE	1 GALLON	MEDIUM	0.40-0.60	
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GALLON	LOW	0.10-0.30	
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	1 GALLON	LOW	<0.10	

IRRIGATION & PLANTING NOTES:

- ALL LANDSCAPE AREAS SHALL RECEIVE A WATER CONSCIOUS AUTOMATIC IRRIGATION SYSTEM. DRIP IRRIGATION SHALL BE UTILIZED WHERE EVER APPROPRIATE.
- ALL ON-SITE PLANTING AND IRRIGATION SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY AND HEALTH APPEARANCE
- ALL UNSIGHTLY SITE APPARATUS SHALL BE SCREENED WITH 5 GALLON SHRUBS OR GREATER (BACK FLOW PREVENTERS, TRANSFORMERS, GAS METERS, AC UNITS, ETC.)
- THE CRITERIA OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE WILL BE CALCULATED & APPROVED TO ASSURE COMPLIANCE OF EFFICIENT USE OF WATER WITHIN THE NEW DESIGNED LANDSCAPE PLAN.

SPECIMEN TREE (TYPICAL)

EXISTING PARKING STALLS

LOW WATER ORNAMENTAL GRASSES AND SHRUBS

PROPOSED PARKING

TRASH ENCLOSURE

BIKE RACK (2) CAPACITY

PARENTIS HEALTH HQ BUILDING

SITE WATER QUALITY BASIN

PASEO DE VALENCIA

WHITE STRIPING

ADA COMPLIANT PARKING STRIPING

NATURAL COLOR CONCRETE FIELD WITH TOP CAST ACID ETCH FINISH

WHITE STRIPING

PROPOSED PARKING

TYPICAL SYMBOL FOR PALM TREE TO BE REMOVED

PROPERTY LINE (TYPICAL) LOW WATER GROUNDCOVER

DECOMPOSED GRANITE OUTDOOR SPACE

MOUNDED LANDSCAPE

EXISTING CITY SIDEWALK

PROPOSED SIGNAGE WITH FOUNTAIN

NOTE:

PLAN SHALL ADHERE TO CITY TREE REMOVAL STANDARDS AND REQUIREMENTS. TREES 1-9 AND 12 ARE PALM SPECIES WHICH DO NOT CONTRIBUTE TO THE VALUE OF THE COMMUNITY, ENVIRONMENT, CARBON SEQUESTRATION, NESTING HABITAT OR SHADE. IT IS RECOMMENDED THAT THE MITIGATION FOR THE REMOVAL OF PALMS SHOULD DEVIATE FROM THE CURRENT MUNICIPAL CODE WITH RESPECT TO THIS.

EXISTING TREES (TO BE REMOVED)

EXISTING TREE DIAMETER (DBH) SIZES	QUANTITY	SPECIES
1	1	QUEEN PALM 12"
2	1	QUEEN PALM 11"
3	1	QUEEN PALM 14"
4	1	QUEEN PALM 18"
5	1	QUEEN PALM 12"
6	1	QUEEN PALM 11"
7	1	QUEEN PALM 11"
8	1	QUEEN PALM 11"
9	1	QUEEN PALM 13"
10	1	TUPIDANTHUS (MULTI) 21"
11	1	OLIVE TREE (DECLINING) 0
12	1	WASHINGTONIA PALM 18"

WATER EFFICIENT LANDSCAPE WORKSHEET

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFIE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
TREE MEDIUM	0.5	BUBBLER	.75	.66	256	98	3455
SHRUB LOW	0.3	DRIP	.81	.37	5094	1885	31257
SHRUB MEDIUM	0.5	DRIP	.81	.62	777	482	15025
					Totals	6127(A)	2465(B)
Special Landscape Areas							
					1		
					1		
					1		
					Totals	0 (C)	0 (D)
						ETWU Total	65648
						Maximum Allowed Water Allowance (MAWA)*	73843

ETAF Calculations

Regular Landscape Areas		
Total ETAF x Area	(B)	2465
Total Area	(A)	6127
Average ETAF	B ÷ A	.40

All Landscape Areas		
Total ETAF x Area	(B+D)	2465
Total Area	(A+C)	6127
Sitewide ETAF	(B+D) ÷ (A+C)	.45

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

ALL PLANTERS BEDS SHALL RECEIVE 3" DEPTH MULCH (MINIMUM) FOR SHRUB BEDS, 2" DEPTH MULCH IN GROUND COVER AREAS.

AN AGRONOMIC SOIL TESTING ANALYSIS WITH RECOMMENDATIONS SHALL BE INCLUDED ON LANDSCAPE PLANS.

ROOT BARRIER SHALL BE SPECIFIED FOR TREES WITHIN 6" (MINIMUM) OF HARDSCAPE. ROOT BARRIERS SHALL NOT ENCIRCLE THE TREE ROOTBALL BUT SHALL BE LOCATED AT EDGE OF HARDSCAPE AND EXTEND BEYOND CENTER OF TREE A MINIMUM OF 5' IN EACH DIRECTION.

PROVIDE THE FOLLOWING NOTE ON LANDSCAPE PLANS: I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM TO THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN TO BE SIGNED BY A CALIFORNIA LICENSED LANDSCAPE PROFESSIONAL

PRELIMINARY LANDSCAPE PLAN

Parentis Health HQ Building

Laguna Woods, CA

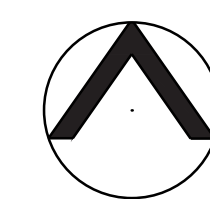
Parentis Health

nuvis

LANDSCAPE ARCHITECTURE
714-754-7311
CA 1891 . NV 396 | SBE . DBE
20-055.01 05/09/2023
SHEET 1 OF 2

SCALE: 1"=10'

0' 5' 10' 30'



TREES



GEIJERA PARVIFLORA
Australian Willow



LAGERSTROEMIA I. 'NATCHEZ'
White Crape Myrtle



LOPHOSTEMON CONFERTUS
Brisbane Box



PISTACHIA CHINENSIS
Chinese Pistache



QUERCUS ILEX
Holly Oak

SHRUBS



BOUGAINVILLEA 'ROSENKA'
Rosenka Bougainvillea



CALLISTEMON 'LITTLE JOHN'
Dwarf Callistemon



DIANELLA TASMANICA 'VARIEGATA'
Variegated Flax Lily



JUNIPERUS HORIZONTALIS 'BLUE CHIP'
Creeping Juniper



KNIPHOFIA 'PINEAP. POPSICLE'
Pineapple Popsicle Dwarf Poker



LANTANA 'NEW GOLD'
New Gold Lantana



RHAPHIOLEPIS I. 'SPRINGTIME'
Springtime Indian Hawthorn



SENECIO SERPENS
Blue Chalksticks



TRACHEOLSPERMUM JASMINOIDES
Star Jasmine

WATER QUALITY BASIN PLANTS



CAREX PANSA
Sand Dune Sedge



JUNCUS PATENS
California Gray Rush



MIMULUS CARDINALIS New
Scarlet Monkeyflower

PAVING



TOP CAST ACID ETCH CONCRETE
Natural Color



TOP CAST SANDBLAST FINISH
Natural Color

PRELIMINARY LANDSCAPE IMAGERY

Parentis Health HQ Building

Laguna Woods, CA

Parentis Health